



REPORT TO MAYOR AND COUNCIL

PRESENTED:	OCTOBER 20, 2025 - REGULAR MEETING	REPORT:	25-161
FROM:	COMMUNITY DEVELOPMENT DIVISION	FILE:	11-33-0144
SUBJECT:	HERITAGE ALTERATION PERMIT APPLICATION NO. 101498 (FORT LANGLEY PROPERTIES LTD. / 9100 BLOCK OF GLOVER ROAD)		

PROPOSAL:

Heritage Alteration Permit application to facilitate demolition of existing buildings, rehabilitation of an existing commercial building and construction of two new 1-storey commercial buildings totalling 1,676 m² (18,040 ft²) in the 9100 Block of Glover Road.

RECOMMENDATION SUMMARY:

That Council authorize issuance of Heritage Alteration Permit No. 101498 subject to six (6) conditions, noting seven (7) conditions to be completed prior to issuance of a Building Permit.

RATIONALE:

The proposed development is located in the Fort Langley Heritage Conservation Area, subject to the applicable guidelines and complies with the Community Commercial C-2 Zone.

RECOMMENDATION:

That Council authorize issuance of Heritage Alteration Permit No. 101498 to Fort Langley Properties Ltd. for property located in the 9100 Block of Glover Road subject to the following conditions:

- a. Building and demolition plans being in substantial compliance with Schedule "A".
- b. On-site landscape plans and tree management plans being in substantial compliance with Schedule "B" and in compliance with the Township's Street Tree and Boulevard Planting Policy.
- c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection).
- d. All signage being in substantial compliance with Schedule "A", the Township's Sign Bylaw and Section 4: Signage of the Fort Langley Building Façade Design Guidelines.
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments.
- f. All refuse areas to be located within buildings and/or enclosures and screened by compatible architectural treatments in substantial compliance with Schedule "A".

Although not part of the heritage alteration permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

HERITAGE ALTERATION PERMIT APPLICATION NO.
101498 (FORT LANGLEY PROPERTIES LTD. / 9100
BLOCK OF GLOVER ROAD)
Page 2 . . .

- a. A Servicing Agreement being entered into with the Township to secure required road utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw.
- b. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw.
- c. Completion of a site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw.
- d. On-site landscaping to be secured by letter of credit at building permit stage.
- e. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place.
- f. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy.
- g. Payment of supplemental heritage alteration permit application fees, Development Cost Charges and building permit administration fees.

EXECUTIVE SUMMARY:

Fort Langley Properties has applied for a Heritage Alteration Permit to facilitate demolition of existing buildings, rehabilitation of an existing commercial building and construction of two new 1-storey commercial buildings totalling 1,676 m² (18,040 ft²) in the 9100 Block of Glover Road. Staff recommend Council authorize issuance of Heritage Alteration Permit No. 101498 subject to six (6) conditions, noting seven (7) conditions to be completed prior to issuance of a Building Permit.

PURPOSE:

The purpose of this report is to advise and make recommendations to Council with respect to proposed Heritage Alteration Permit No. 101498.

HERITAGE ALTERATION PERMIT APPLICATION NO.
101498 (FORT LANGLEY PROPERTIES LTD. / 9100
BLOCK OF GLOVER ROAD)
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REFERENCE:

Owner:	Fort Langley Properties Ltd. 205, 1231 Pacific Boulevard Vancouver, BC V6Z 0E2
Agent:	Sitelines Architecture Inc. 200, 23160 – 96 Avenue PO Box 249 Langley, BC V1M 2R6
Legal Description:	Lot A District Lot 79 Group 2 New Westminster District Plan EPP145411
Civic Address:	9100 Block of Glover Road
Area:	0.45 ha (1.10 ac)
Fort Langley Community Plan:	Commercial Fort Langley Heritage Conservation Area
Existing Zoning:	Community Commercial Zone C-2

BACKGROUND/HISTORY:

- The subject site is zoned Community Commercial Zone C-2 and designated Commercial in the Fort Langley Community Plan (Attachment B).
- The site is located in the Fort Langley Heritage Conservation Area. The Fort Langley Community Plan states that “the purpose of the heritage conservation area designation is to protect the heritage character of downtown Fort Langley. This will be accomplished by encouraging new development and alterations that complement and enhance buildings with heritage value and the heritage character of the area.”
- The Simpson Brothers Store is located on the southerly portion of the site. The Conservation Plan included with the application indicates that the building was constructed in 1928. The building is included in the Township’s Heritage Inventory.
- The subject site was consolidated from three properties to one in 2025.

DISCUSSION/ANALYSIS:

- Fort Langley Properties Ltd. has applied for a Heritage Alteration Permit to facilitate the demolition of existing buildings, restoration of an existing building and construction of two new 1-storey commercial buildings totalling 1,676 m² (18,040 ft²) in the Fort Langley Heritage Conservation Area.
- As part of the proposed development, the Conservation Plan indicates that the Simpson Brothers Store will be preserved and rehabilitated in its current location.
- In addition to retention of the Simpsons Brothers Store, the proposed development includes demolition of existing buildings and construction of two new standalone commercial buildings with pedestrian access from Glover Road and McBride Lane and vehicular access from McBride Lane.

HERITAGE ALTERATION PERMIT APPLICATION NO.
101498 (FORT LANGLEY PROPERTIES LTD. / 9100
BLOCK OF GLOVER ROAD)
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- Staff note ToL Project No. 11-33-0137 / 9140, 9148 and 9166 Glover Road and 9100 Block of Church Street (issued by Council July 24, 2023 and subsequently extended July 21, 2025) includes intersection improvements at Glover Road, Mary Avenue and McBride Lane. Should these works not advance prior to the subject development, any applicable works related to the subject development pursuant to the Township's Subdivision and Development Servicing Bylaw are to be finalized prior to building permit.

Adjacent Uses:

	Existing Use	Fort Langley Community Plan Designation	Existing Zoning
North:	Commercial and Industrial buildings	Light Industrial; Commercial	Service Industrial Zone M-1B; Community Commercial Zone C-2
South:	McBride Street, beyond which is the Fort Langley Community Hall	Institutional	Civic Institutional Zone P-1
East:	Glover Road, beyond which are commercial properties	Commercial	Community Commercial Zone C-2; Comprehensive Development Zone CD-100
West:	Single family and multi family properties	Multi Family	Residential Zone R-1E; Multiple Family Residential Zone RM-1

Heritage Alteration Permit:

- The site is located in the Fort Langley Heritage Conservation Area. The following general guidelines from the Fort Langley Community Plan are applicable to the proposed development:
 - o *5.1(a) historic buildings should be renovated and restored in a manner appropriate to their individual period and style and, whenever possible, original forms, materials and details should be uncovered or left in place and preserved;*
 - o *5.1(b) new construction and infill projects should be designed to blend harmoniously with historic elements of the streetscape*
- The subject proposal was reviewed by the Heritage Review Panel (HRP) on August 29, 2025 with the comments subsequently endorsed by the Heritage Advisory Committee (HAC) on September 3, 2025.
- The proponent has responded to the recommendations of the HAC by including replacement windows on the Simpson Brothers Store, providing additional windows and business entrances onto the breezeways, including a mural space on the northerly breezeway, incorporating additional paver materials, adding a pedestrian connection on McBride Street that aligns with the pedestrian connection on the Fort Langley Community Hall property, providing additional patio space on the northerly portion of the property and reducing the visual impact of the garbage room.
- On an overall site basis, the proposal requires 48 parking spaces with 40 provided,

however, Section 11(b) of Fort Langley Off-Street Parking Bylaw No. 3472 indicates that “In the event of an owner of land of an existing commercially occupied building wishes to remove or demolish the said building in favour of a new building, only the increased gross floor area between the old demolished building and the new building will be required to comply with the off-street parking requirements of the said Zoning Bylaw No. 2500...” The site data provided by the proponent indicates 1,191.82 m² (12,828.64 ft²) of buildings are being demolished with 1,676 m² (18,040 ft²) of buildings proposed resulting in an overall parking requirement of 14 parking spaces based on Bylaw No. 3472.

- A walnut tree on the northeasterly portion of the site is proposed to be retained and incorporated into the patio space along Glover Road.
- Heritage Alteration Permit No. 101498 (Attachment A) includes renderings, site plans, building elevations and landscaping plans.

Tree Protection / Replacement:

- The applicant has submitted preliminary tree management plans indicating the following:

Significant Trees on Site	Significant Trees Retained	Replacement Trees Required	Replacement Trees Provided	Street Trees Existing	Total Trees Post Development
8	8	9	9	4	21

The landscape plans propose plantings of trees, shrubs and groundcovers within the site as well as benches, lighting and graphics to enhance the breezeways. Finalization of landscaping details has been included as a condition of the heritage alteration permit.

Policy Considerations:

The proposed Heritage Alteration Permit facilitates demolition of existing buildings, rehabilitation of an existing commercial building and construction of new commercial buildings in the 9100 Block of Glover Road. As the site is located in the Fort Langley Heritage Conservation Area, issuance of a Heritage Alteration Permit is required and is included as Attachment A.

Respectfully submitted,

Joel Nagtegaal
MAJOR PROJECT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A Heritage Alteration Permit No. 101498

ATTACHMENT B Maps and Graphics

ATTACHMENT A

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Heritage Alteration Permit No. 101498

This Permit is issued this _____ day of _____, 2025 to:

1. Name: Fort Langley Properties Ltd.

Address: 205, 1231 Pacific Boulevard
Vancouver, BC V6Z 0E2

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot A District Lot 79 Group 2 New Westminster District Plan
EPP145411

CIVIC ADDRESS: 9100 Block of Glover Road

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit and subject to the following conditions being satisfied to the acceptance of the Township of Langley:
- a. Building and demolition plans being in substantial compliance with Schedule "A".
 - b. On-site landscape plans and tree management plans being in substantial compliance with Schedule "B" and in compliance with the Township's Street Tree and Boulevard Planting Policy.
 - c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection).
 - d. All signage being in substantial compliance with Schedule "A", the Township's Sign Bylaw and Section 4: Signage of the Fort Langley Building Façade Design Guidelines.
 - e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments.
 - f. All refuse areas to be located within buildings and/or enclosures and screened by compatible architectural treatments in substantial compliance with Schedule "A".

Although not part of the heritage alteration permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. A Servicing Agreement being entered into with the Township to secure required road utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw.
- b. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw.
- c. Completion of a site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw.
- d. On-site landscaping to be secured by letter of credit at building permit stage.
- e. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place.
- f. Provision of an exterior lighting impact plan prepared by an electrical engineer in

- compliance with the provisions of the Township's Exterior Lighting Impact Policy.
- g. Payment of supplemental heritage alteration permit application fees, Development Cost Charges and building permit administration fees.
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Heritage Alteration Permit shall be substantially commenced within two years after the date the Heritage Alteration Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2025.

Attachments:

SCHEDULE A	Architectural Drawings
SCHEDULE B	Landscape Drawings

REVISIONS		DATE	DESCRIPTION
1	2025.04.09		REVIEW 03
2	2025.04.09		REVIEW 04
3	2025.05.01		REVIEW 05
4	2025.05.20		ISSUE FOR IRP
5	2025.08.13		LANDSCAPE INFORMATION PARING REVISION
6	2025.08.28		RE-ISSUE FOR IRP
7	2025.08.10		LANDSCAPE COORDINATION
8	2025.09.10		HAP REPORT

GLOVER RD.
COMMERCIAL
BUILDINGS

9181, 9205, 9215
GLOVER RD. LANGLEY
BC

title
SITE PLAN

scale As indicated
start date 2025.02.20

drawn AW checked GK

job no. 2505

sheet no. **A1.00**

seal

EXISTING BUILDINGS TO BE DEMOLISHED	12,828.67 SQ. FT. 1,191.82 SM
-------------------------------------	----------------------------------

PARKING [167.65M/355M/STALL= 48]
REQUIRED: **48 STALLS**
PROPOSED: **40 STALLS**
 (7 SPACE SHORT FALL TO BE COVERED BY PARKING CREDIT FOR EXISTING BUILDING AREA ALLOWED IN FORT LANGLEY)

SETBACKS		ALLOWED	PROPOSED
FRONT		0.00M	0.00M
REAR		7.50M	13.79M
SIDE YARD		0.00M	3.31M (S); 2.15M (N)

LOT COVERAGE	40% 37.6%
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SITE DESCRIPTION	C-2 (NO CHANGE) 479.52 SQ.FT. (4,457 SQM) SITE AREA: SIC/VIC ADRESSES: 9181, 9205, 9215 GLOVER ROAD LEGAL DESCRIPTIONS: PID: 030-280-516; 031-465-439
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	BUILDING A	BUILDING B	BUILDING C
RENTABLE:	1,144.94 SQ.FT.	RENTABLE: 12,014.25 SQ.FT.	RENTABLE: 2,682.84 SQ.FT.
SERVICE AREAS:	106 SM	2,200.30 SQ.FT.	249 SM
TOTAL:		14,214.55 SQ.FT.(1321 SM)	
TOTAL: BLDG. A = BLDG. B = BLDG. C = 19,096.23 SQ.FT.(1,677 SM)			

E13

Drawings are to be read in conjunction with each other, any discrepancies found on any drawings are to be reported to the architect before commencing work.

Contractors are responsible to ensure that all work is executed to the requirements of the 2024 B.C. Building Code.

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sle lives architecture inc.

	DATE
1	2025.04.09
2	2025.04.28
3	2025.05.01
4	2025.05.20
5	2025.06.28
8	2025.09.10

9181, 9205, 9215
GLOVER RD. LANGLEY
BC

scale As indicated

start date 2025.02.20

drawn	AW	checked	GK

Job no. 2505

sheet no. **A1.01**

seal

0025-09-09 12:53:02 PM



Building Code.



EXISTING BUILDINGS TO BE DEMOLISHED	12,828.67 SQ.FT. 1,191.82 \$M
-------------------------------------	----------------------------------

PARKING (1676 SM/35 SM/ST AL= 48)
REQUIRED: 48 STALLS
PROPOSED: 40 STALLS
17 SPACE SHORT FALL TO BE COVERED BY PARKING CREDIT FOR EXISTING BUILDING AREA ALLOWED

SETBACKS		
	ALLOWED	PROPOSED
FRONT	0.00M	0.00M
REAR	7.50M	13.79M
SIDE YARD	0.00M	3.31M (S); 2.15M (N)

LOT COVERAGE	
ALLOWED:	40%
PROPOSED:	37.6%

SITE DESCRIPTION
ZONING: C-2 (NO CHANGE) SITE AREA: 47952 SQ. FT. (4.457 SM) SMCWC ADDRESSES: 9181, 9205, 9215 GLOVER ROAD LEGAL DESCRIPTIONS PID: 030-280-52-4; 030-280-51-6; 031-465-439

BUILDING A		BUILDING B		BUILDING C	
RENTABLE:	1,145.58 SQ. FT. 106 SM	RENTABLE:	12,014.25 SQ. FT. SERVICE AREAS: 2,204.28 SQ. FT.	RENTABLE:	2,682.84 SQ. FT. 249 SM
		TOTAL:	14,218.45 SQ. FT. (1321.5M)		

REVISIONS		DESCRIPTION
1	2025.04.09	REVIEW 03
2	2025.04.28	REVIEW 04
3	2025.05.01	REVIEW 05
4	2025.05.01	REVIEW 06
5	2025.08.28	RE-ISSUE FOR HRP
6	2025.08.28	RE-ISSUE FOR HRP
7	2025.09.10	HAP REPORT

GLOVER RD.
COMMERCIAL
BUILDINGS

9181, 9205, 9215
GLOVER RD. LANGLEY
BC

title
BUILDING ELEVATIONS

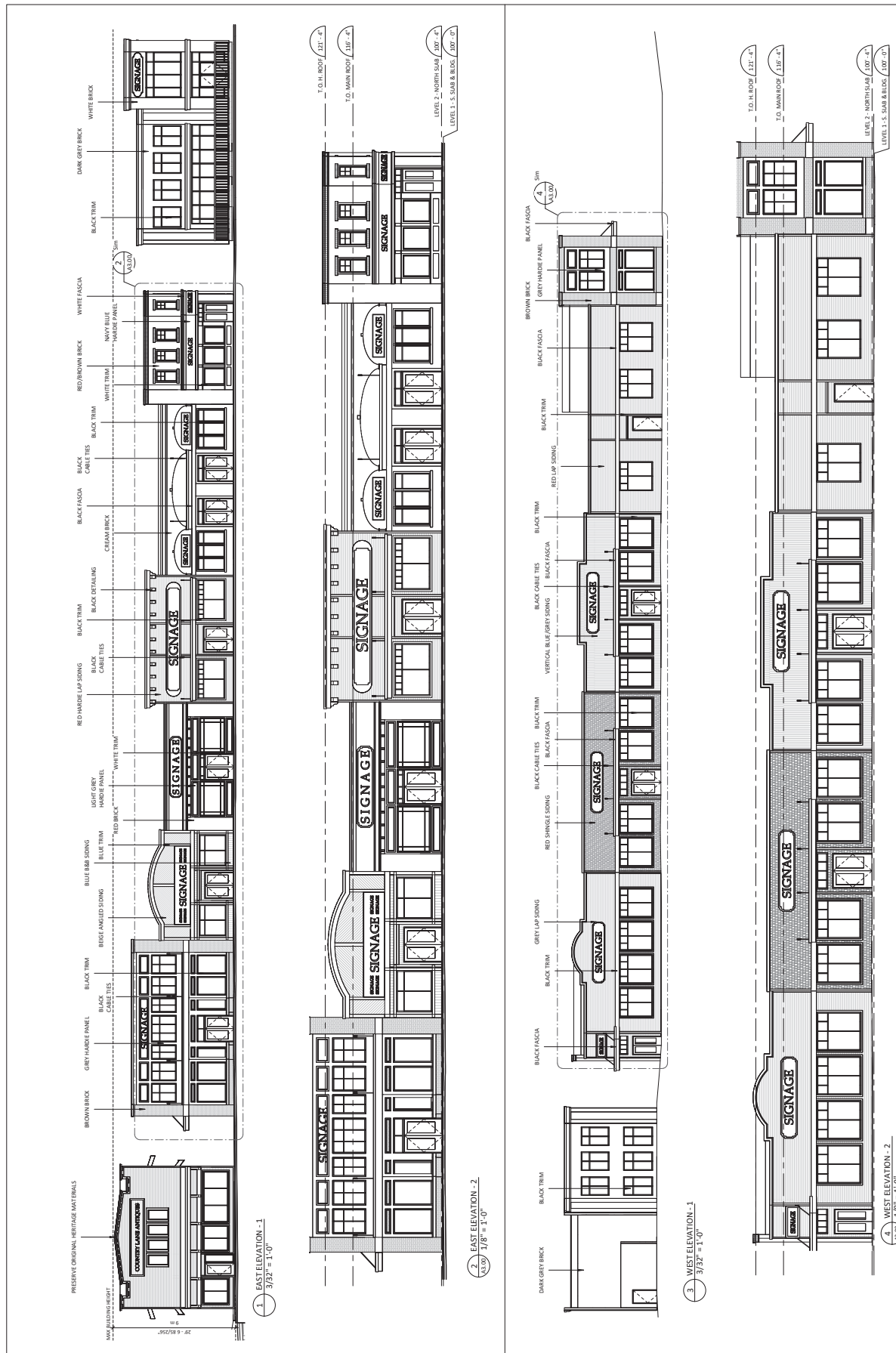
scale	As indicated
start date	2025.02.20
drawn	checked
job no.	2505
sheet no.	A3.00
seal	

E.13

Drawings are to be submitted in conjunction with each "major" any discrepancies found on any drawings are to be reported to the architect before commencing work.

Contractors are responsible to ensure that all work is in accordance with the requirements of the 2024 IBC Building Code.

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ALL SIGNAGE TO COMPLY WITH SECTION 4 OF THE FORT LANGLEY BUILDING FACADE GUIDELINES

title
BUILDING ELEVATIONS

scale 1/8" = 1'-0"	drawn checked	job no. 2505	sheet no. A3.01
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seal

E.13

Drawings are to be read in conjunction with each other. Any discrepancies found on any drawings are to be reported to the Architect before commencing work.

Contractors are responsible to ensure that all work is done to the requirements of the 2024 B.C. Building Code.

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steel line architecture inc.





seal

E.13

Drawings are to be read in conjunction with each other. Any discrepancies found on any drawings are to be reported to the architect before commencing work.

Contractors are responsible to ensure that all work is done in accordance with the requirements of the 2024 B.C. Building Code.

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REVISIONS		DESCRIPTION
	DATE	
4	2025.05.20	ISSUE FOR HRP
6	2025.08.28	RE-ISSUE FOR HRP
8	2025.01.10	HAP REPORT

GLOVER RD.
COMMERCIAL
BUILDINGS

9181, 9205, 9215
GLOVER RD. LANGLEY
BC

title
RENDERINGS - 2

scale
0 24°N 30°N

start date 2025.02.20

drawn checked

2505
job no.

sheet no. **A9.03**

seal



CRU 8



RESTAURANT CRU 12



CRU 6 & 7



CRU 8

E 13

Drawings are to be read in conjunction with each other. Any discrepancies found on any drawings are to be reported to the architect before commencing work.

Contractors are responsible to ensure that all work is in accordance with the requirements of the 2024 B.C. Building Code.

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REVISIONS	
DATE	DESCRIPTION
4/20/2015.20	ISSUE FOR HRP
6/20/2015.26	RE-ISSUE FOR HRP
8/20/2015.10	HAP REPORT

GLOVER RD.
COMMERCIAL
BUILDINGS

9181, 9205, 9215
GLOVER RD. LANGLEY
BC

title
RENDERINGS - 4

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0 24°N 30°N

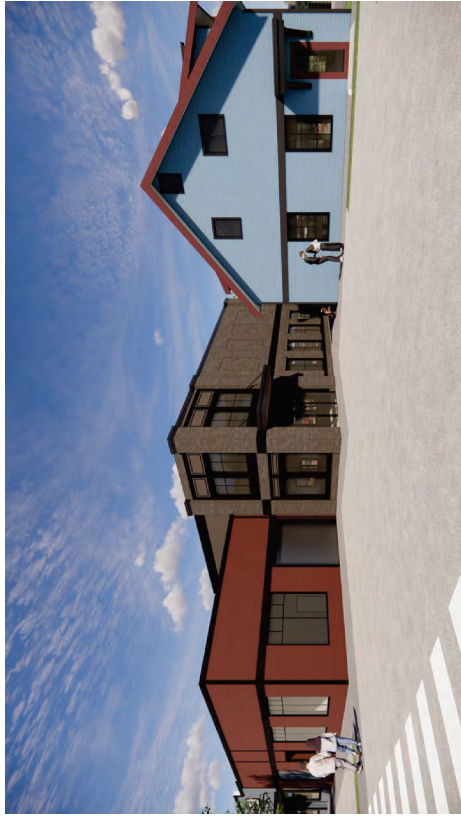
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job no. 2505

sheet no. **A9.05**

seal



GARBAGE & MECHANICAL ROOM



HERITAGE BUILDING CRU 1



CRU 11



CRU 9 & 10

Glover Rd. Commerical Buildings

HAP APPLICATION

Contact Information

VDZ+A

Project: Fort Langley Architecture

Fort Langley Studio
102 - 9181 Church Street
Fort Langley, British Columbia, V1M 2R8
Mount Pleasant Studio
100-355 Kingsway
Vancouver, British Columbia, V5T 3J7
Kelowna Studio
302 - 1181 Sunset Drive
Kelowna, British Columbia, V1Y 0L4

Primary project contact:
Mark van der Zalm
Principal Landscape Architect
mark@vdz.ca
604 948 0920

Key Project Contacts

Site Lines Architecture

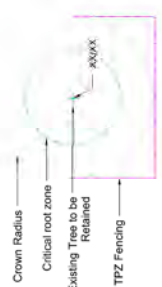
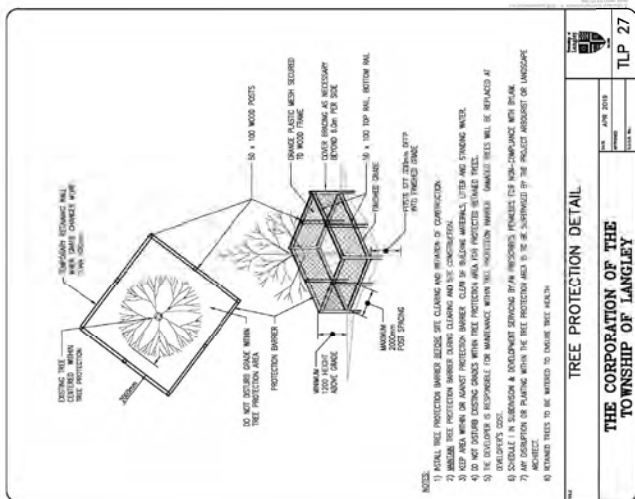
Project: Fort Langley Architecture

#200 23160 96 Ave
Fort Langley, BC
Gord Klassen
604 881 7173

Sheet List Table

Sheet Number	Sheet Title
L-00	COVER SHEET
AR-01	TREE MANAGEMENT PLAN
L-02	OVERALL SITE PLAN
L-03	ENLARGED SITE PLAN
L-04	ENLARGED SITE PLAN
L-05	PLANTING PALETTE
LD-01	DETAILS
LD-02	DETAILS





REVIEWS TABLE FOR DRAWINGS			
No.	By:	Description	Date
1	AL	Issued for Approval Report	2025-05-26

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REVIEWS TABLE FOR SHEET			
No.	By:	Description	Date

Project:
West Glover Road

Location:
9181, 9199, 9205, 9213, 9217
Glover Road, Township of
Langley, B.C.

Location:
9181, 9199, 9205, 9213, 9217
Glover Road, Township of
Langley, B.C.

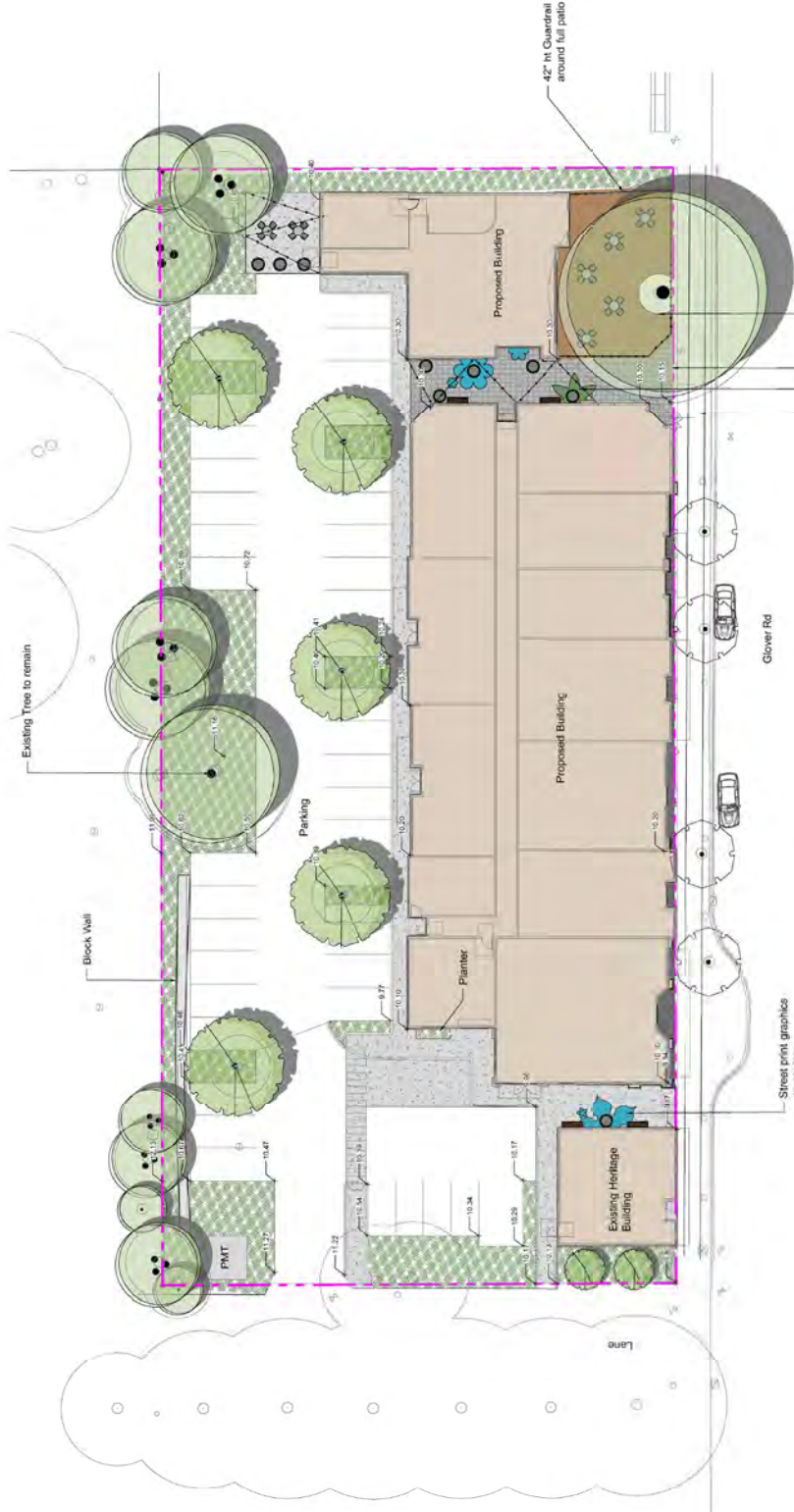
Drawn: DCR	Stamp:	Original Sheet Size: 24" x 36"	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
Checked: DCR	Approved: MVDZ		
Scale: 1:300			CONTRACTOR MUST NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR EQUIPMENT DURING THE CONSTRUCTION OF THE PROPOSED STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



	Tree Protection Fencing
	Undersize tree, existing dead tree, or Stump
	Existing Dead Tree to be removed
	Significant Tree to be Removed
	Significant Tree to be Retained
	Existing Tree in poor condition to be Removed
	Existing Tree to be Removed
	Existing Tree to be Retained

Tree Tag Legend:
 XX - Tag number
 C-XX - Municipal tree
 OS-XX - Off-site tree
 S-XX - Straddling tree
 Wilden
 permission required from
 owner to remove trees
 XX+IP - Hand-plotted
 NT-XX - No Tag #

1. Contact VQZ-A Project Arbolist (Glyn Bonessie - glyn@vqz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone (TPZ) if during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability
2. It may be necessary to remove additional trees.
3. Read this plan together with the arbolist report prepared by VQZ-A.
4. If Stump Grinding is to occur in close proximity to trees which are to be retained then the requested stamps to be removed under Arbolist's supervision.
5. It is the responsibility of the client or his/her representative to contact the project arbolist for the purpose of:
 - Locating TPZ
 - Locating Work Zone and Machine access corridors where required
 - Reviewing the Report with the project Foreman or site supervisor.



1 OVERALL SITE PLAN
Scale: 1/8\"/>

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		CONCRETE PAVING
		STAMPED CONCRETE PAVING
		CONCRETE UNIT PAVING
		DECKING
		Grass
		Hedge

KEY	REF.	DESCRIPTION
		Proposed Tree
		Existing Tree (5' Minimum)
		PATIO TABLE BY OWNER
		SHRUB PLANTING
		OVERHEAD LIGHT FIX
		42' QUADRAL

Precedent Images



Street print graphics on paving



Decking around existing tree

Street print graphics on paving
Existing Streetscape to remain
Concrete band
Raised deck around existing tree

REV	BY	DESCRIPTION	DATE
1	LA	ISSUED TO MAP	2025-05-10
2	LA	ISSUED TO MAP	2025-05-10
3	LA	ISSUED TO MAP	2025-05-10
4	LA	ISSUED TO MAP	2025-05-10
5	LA	ISSUED TO MAP	2025-05-10
6	LA	ISSUED TO MAP	2025-05-10
7	LA	ISSUED TO MAP	2025-05-10
8	LA	ISSUED TO MAP	2025-05-10
9	LA	ISSUED TO MAP	2025-05-10
10	LA	ISSUED TO MAP	2025-05-10
11	LA	ISSUED TO MAP	2025-05-10
12	LA	ISSUED TO MAP	2025-05-10
13	LA	ISSUED TO MAP	2025-05-10
14	LA	ISSUED TO MAP	2025-05-10
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24	LA	ISSUED TO MAP	2025-05-10
25	LA	ISSUED TO MAP	2025-05-10
26	LA	ISSUED TO MAP	2025-05-10
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North

Project: GLOVER RD COMMERCIAL

Location: Glover Rd, Fort Langley BC

Drawn: LA

Checked: LJ

Approved: MVDZ

Original Sheet Size: 24x36"

Scale: 1:200

Stamp:

VDZ Project #

IP2025-01

OVERALL SITE PLAN

E.13

VDZ+A

KELDAWA

FORT LANGLEY

VANCOUVER

LANDSCAPE ARCHITECTURE - CIVIL, BUILDINGS - DESIGN PARTNER

Since 1972

VDZ Project #

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LANDSCAPE ARCHITECTURE - CIVIL, BUILDINGS - DESIGN PARTNER

Since 1972

VDZ Project #

IP2025-01

OVERALL SITE PLAN

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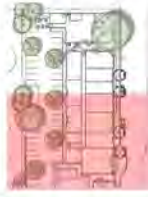
VDZ+A

KELDAWA

FORT LANGLEY

VANCOUVER

LANDSCAPE ARCHITECTURE - CIVIL, BUILDINGS - DESIGN PARTNER



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REV	BY	DESCRIPTION	DATE
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10	LA	REVISIONS TO IMP	2024-06-10

Project:
 GLOVER RD COMMERCIAL

Location:
 Glover Rd, Fort Langley BC

Drawn	Checked	Approved	Scale
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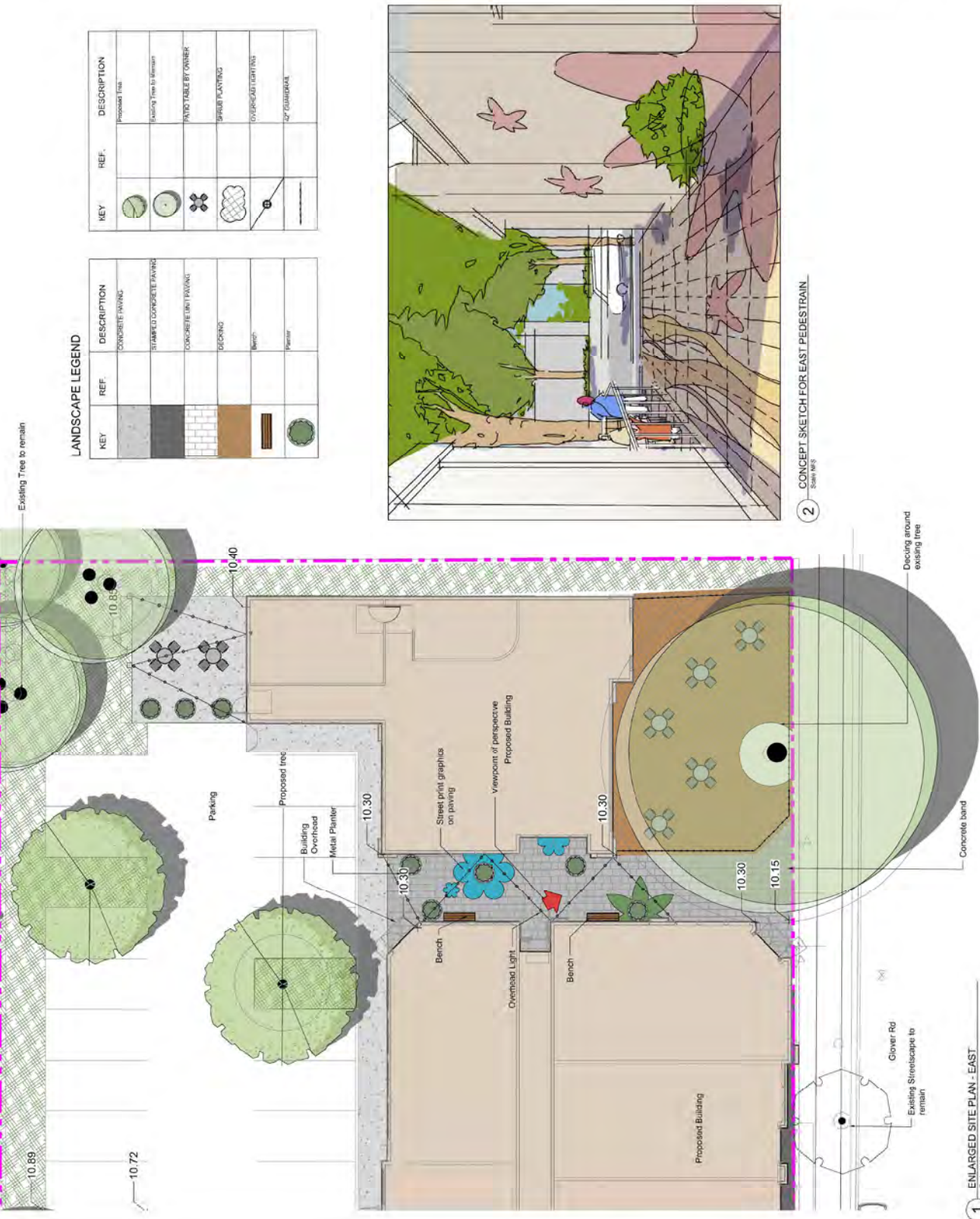
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		CONCRETE PAVING
		STAINED CONCRETE PAVING
		CONCRETE CURB PAVING
		DECK
		Paver
		Grass
		Proposed Tree
		Existing Tree to Retain
		PATIO TABLE BY OWNER
		SHRUB PLANTING
		OVERHEAD LIGHTING
		40' SIDEWALK



2 CONCEPT SKETCH FOR WEST PEDESTRIAN
 Scale: 1/8" = 1'-0"





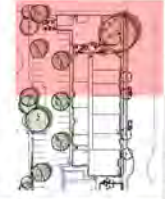
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		Existing Tree to remain
		Proposed Tree
		STAMPED CONCRETE PAVING
		CONCRETE WITH PAVING
		DECKING
		Bench
		Planter
		PATIO TABLE BY OWNER
		SPRUCE PLANTING
		OVERHEAD LIGHTING
		2'x4' GLUEBOARD



2 CONCEPT SKETCH FOR EAST PEDESTRIAN
Scale 1/8" = 1'-0"

1 ENLARGED SITE PLAN - EAST
Scale 1/8" = 1'-0"



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Project:
GLOVER RD COMMERCIAL

Location:
Glover Rd Fort Langley BC

Drawn:	LA
Checked:	LA
Approved:	MVDZ
Original Sheet Size:	24"x36"
Scale:	1" = 10'



Anacardium occidentale 'Fort McNair'



Acer 'Pacific Fire'



Chamaecyparis nootkatensis 'Green Arrow'



Cornus x Eddies's White Wonder



Rhododendron x 'Anah Kuschke'



Rosa nutkana



Salvia x guaranitica 'Rhythm and Blues'



Hosta x 'Earth Angel'



Ligularia dentata 'Ondine'



Iberis sempervirens 'Little Gem'



Camellia sasanqua 'Apple Blossom'



Heschera x 'Peach Flamingo'



Carex obovata 'Kaga-majuro'



Deschampsia cespitosa 'Goldstar'



Blechnum spicant



Cornus canadensis

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DATE	DESCRIPTION	BY
2025-05-15	ISSUED FOR HAP REVIEW	LA
2025-06-27	RE ISSUED TO HAP	ALI
2025-06-10	RE ISSUED TO HAP	LA
2025-06-24	RE ISSUED TO HAP	JT

REVISIONS TABLE FOR DRAWINGS

■ SUBJECTS MATTER: This drawing and design is the property of ICF/FA and may not be reproduced or used for other projects without permission.

NO.	BY	DESCRIPTION	DATE

REVISIONS TABLE FOR SHEET

Project:
GLOVER RD COMMERCIAL

Location:
Glover Rd. Fort Langley BC

Donors ¹	Classes
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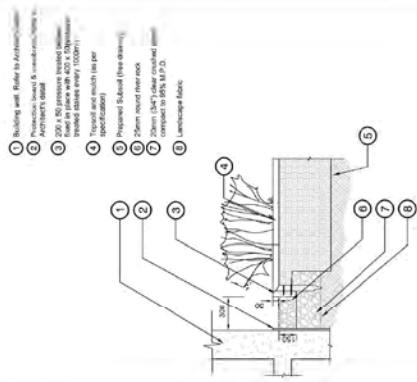
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Approved: JVDZ	Original Sheet Size: 24"x36"
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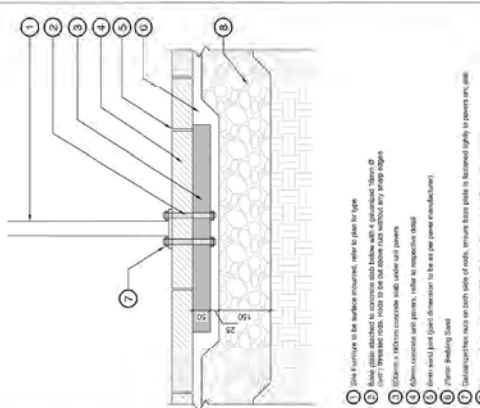
Scale:
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conclusion, the authors' findings on the role of social and cultural context in the development of the self are consistent with the findings of other researchers in the field of self-concept development.

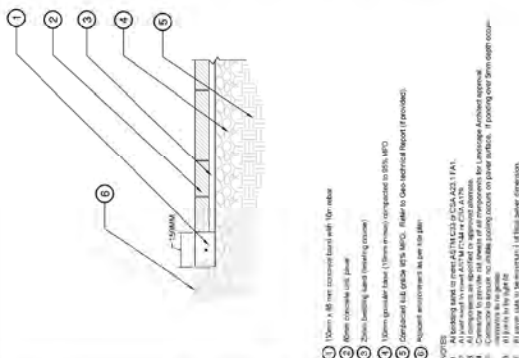
DRIP STRIP ADJACENT GARDEN BED



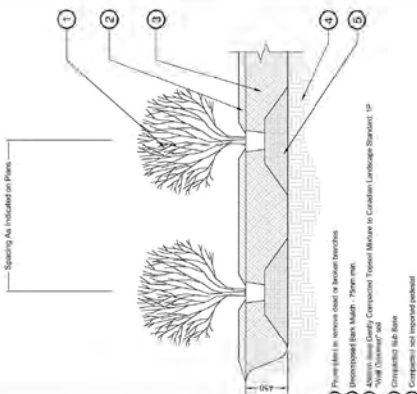
FURNITURE SURFACE MOUNT ON UNIT PAVERS



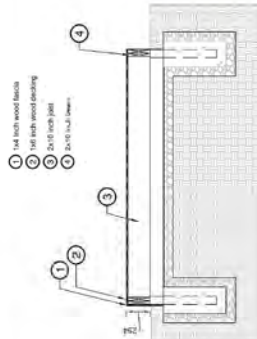
UNIT PAVERS - PEDESTRIAN



SHRUB PLANTING



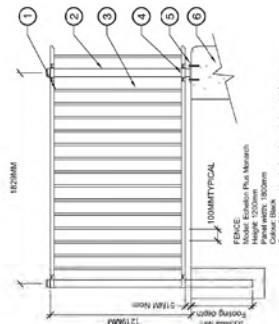
WOOD DECK ON GRADE



Company Name:
 All sources shall be mutually irrevocable if the structure manufactured to meet local
 codes and site conditions. Large quantity drawings shall be made available to the
 contractor and local authorities.
 When required for structural evaluation, anchor bolts shall be supplied by the contractor.
 Columns shall be ASTM A572 grade 50
 Concrete footing shall be ASTM A115 grade 40 #4 bars & smaller, grade 66 #6 bars &
 larger. Concrete shall be 5 cubic yards (10 cubic feet) concrete.
 Minimum curing shall not less than 7 days.
 Complete compressive strength shall be a minimum of 2000

1. Competitor to provide deep discounts to landscape architect for approval price as construction.
2. All further to be pursuant to final rough cut Douglas fir #2 or better.
3. All steel joists, bolts, washers & plates to be hot dipped galvanized. Provide shop drawings for all steel for review and approval prior to fabrication.
4. All poles and beams to be preservative treated with ACQ.

1.2M (4") IPE AND STEEL FENCE



- 1 20x27mm Transcure red
- 2 Metal pins
- 3 10mm x 12mm 20kM
- 4 Blunt
- 5 Blue glass window to bottom of panel. Attach to top of wall with 4 bolts per plate.



REV.	BY	DESCRIPTION	DATE
	LA	ISSUED FOR HAP REVIEW	2025-05-15
	LJ	RE-ISSUED TO HAP	2025-08-27
	LA	RE-ISSUED TO HAP	2025-09-10
	JT	RE-ISSUED TO HAP	2025-09-24

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET			
REV.	BY	DESCRIPTION	DATE

Project: GLOVER RD COMMERCIAL-[illegible]

Location:
Glover Rd. Fort Langley BC

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Drawn: AL	Stamp:
Checked: LJ	

Approved: MVDZ	Original Sheet Size: 24"x36"
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Scale:	AS SHOWN
--------	----------

CONFIRMATION IS REQUIRED ALL THE INFORMATION IN THIS ADVERTISEMENT AND ANY INFORMATION TO BE OBTAINED FROM CONSULTANTS BEFORE ACCEPTING ANY CONTRACTS AND APPLICATIONS. THE FOLLOWING INFORMATION IS FOR THE INFORMATION OF THE CONSULTANTS AND NOT BE USED AT THE DISCRETION OF THE CONSULTANTS. THE INFORMATION IS FOR THE INFORMATION OF THE CONSULTANTS AND NOT BE USED AT THE DISCRETION OF THE CONSULTANTS.



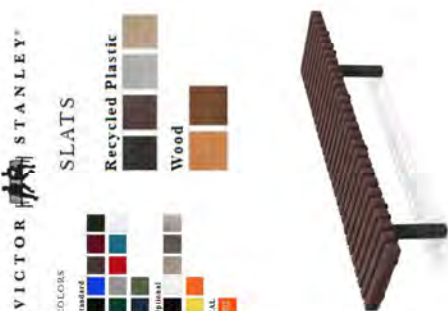
CATENARY LIGHT



PLANTER



UNIT PAVERS

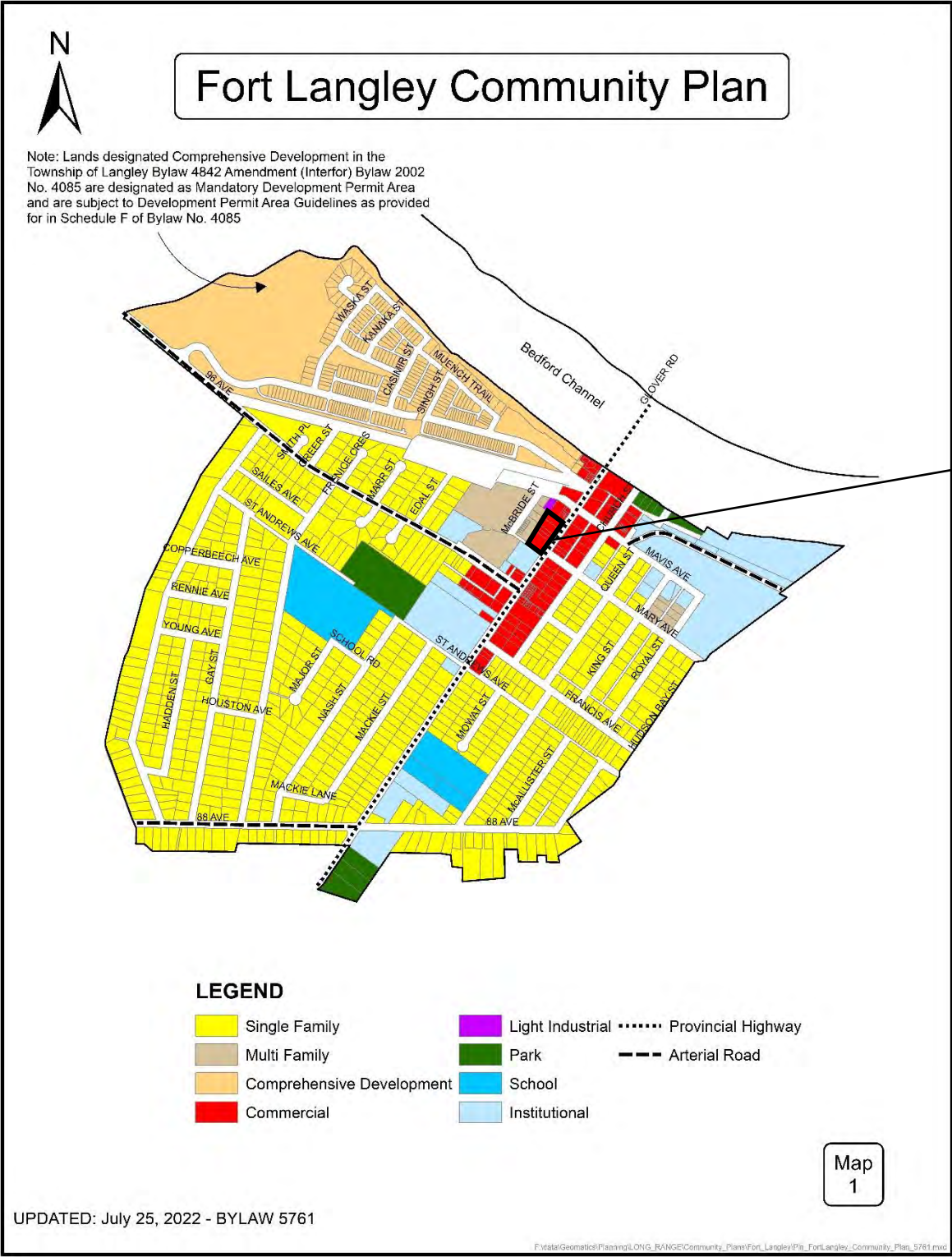


WOOD BENCH

ATTACHMENT B

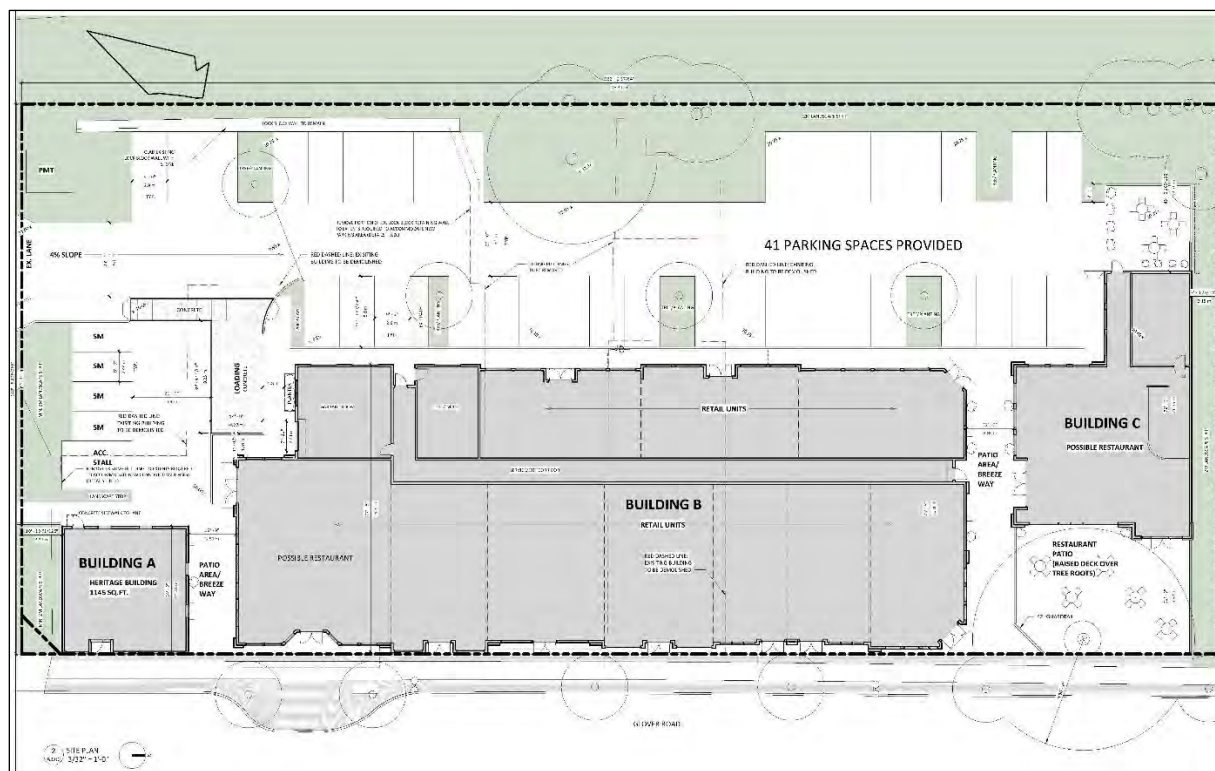


AERIAL CONTEXT MAP





ZONING BYLAW NO. 2500



SITE PLAN – SUBMITTED BY APPLICANT



RESTAURANT CRU 12



CRU 2



CRU 8



CRU 6 & 7



BIRDS EYE VIEW



HERITAGE BUILDING CRU 1 & CRU 2



RESTAURANT CRU 12 - BACK OF BUILDING

RENDERINGS – SUBMITTED BY APPLICANT



HERITAGE BUILDING CRU 1



GARBAGE & MECHANICAL ROOM



CRU 5



CRU 4



CRU 3



CRU 2

RENDERINGS – SUBMITTED BY APPLICANT